**ROOF PLAN**
SCALE: 1/16" = 1'-0"**KEY PLAN**
SCALE: N.T.S.**GENERAL NOTES:**

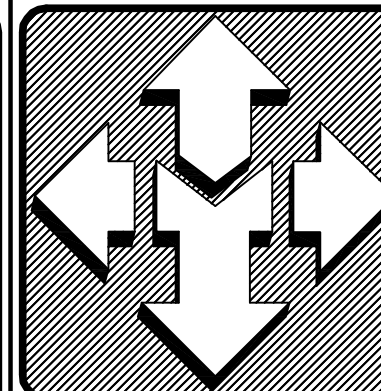
1. CONTRACTOR MUST VISIT THE SITE SO AS TO BE FAMILIAR WITH ALL EXISTING CONDITIONS BEFORE SUBMITTING BID, BRING ANY QUESTIONS OR CONCERNS TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION, FOR ADDENDUM PRIOR TO BID OPENING. NO ALLOWANCES WILL BE MADE FOR CONDITIONS THAT ARE CLEARLY VISIBLE.
2. CONTRACTOR SHALL WORK WITH OWNER ON SCHEDULING TO INSURE CONTINUED USE OF THE BUILDING. NEITHER THE CONTRACTOR NOR ANY OF HIS PEOPLE SHALL HAVE ACCESS TO THE BUILDING WITHOUT PRIOR AUTHORIZATION.
3. ALL SAFETY STANDARDS AND REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
4. EXISTING ROOF PENETRATIONS WILL BE FLASHED AND PAINTED.
5. ALL EXISTING ROOF VENTS, MECHANICAL UNITS, ROOF HATCHES, ETC. WILL BE A MINIMUM OF 10" ABOVE THE FINISHED ROOF.
6. ALL NEW METAL WILL BE GALVANIZED OR PRE-FINISHED. CAULKING WILL BE SAME COLOR AS METAL.
7. BEFORE FABRICATION OF ANY SHEET METAL WORK, SUBMIT SHOP DRAWINGS TO ENGINEER FOR REVIEW AND APPROVAL. ALL WORK TO CONFORM TO NRCA OR SMACNA DETAILS AND REQUIREMENTS WHERE NOT SPECIFICALLY DETAILED OTHERWISE.
8. COMPLY WITH ALL MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
9. CONTRACTOR RESPONSIBLE TO KEEP BUILDING WATERTIGHT AT ALL TIMES. STARTING FROM NOTICE TO PROCEED TO SUBSTANTIAL COMPLETION ANY DAMAGE TO THE BUILDING OR ITS CONTENTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
10. CONTRACTOR TO CHECK ALL MECHANICAL EQUIPMENT BEFORE DISCONNECTING TO MAKE SURE THEY ARE OPERATING PROPERLY, CONTRACTOR IS ALSO RESPONSIBLE FOR UNITS TO BE IN COMPLETE OPERATING CONDITION AT THE COMPLETION OF THE PROJECT. COORDINATE SHUTDOWN WITH USERS.
11. BEFORE ORDERING ANY MATERIALS, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. DO NOT SCALE DRAWINGS FOR QUANTITIES.
12. BEFORE INSTALLATION OF ALL NEW PIPE JACKS AND PIPE FLASHINGS CHECK MECHANICAL FLUES AND VENTS FOR ANY SETTLEMENT OR SHIFTING INTO ROOF. CONTRACTOR TO VERIFY THAT MECHANICAL EQUIPMENT VENTING TO HAVE POSITIVE RELEASE FLOW TO ROOF VENT AND FLUE IS SECURED TO ORIGINAL HEIGHT AND ALL CONNECTIONS ARE TIGHT AND SECURE.
13. AT THE END OF CONSTRUCTION, CONTRACTOR IS TO CLEAN OUT AND FLUSH ALL ROOF DRAIN LINES TO MAKE SURE THEY ARE NOT PLUGGED AND ARE IN WORKING CONDITION.

SCOPE OF WORK:

1. REMOVE EXISTING EPDM AND BUR ROOFING SYSTEMS DOWN TO METAL DECKING / PLYWOOD SHEATHING. CHECK DECKING FOR ANY DAMAGE AND REPLACE IF REQUIRED.
2. COORDINATE WITH OWNER FOR REMOVAL AND REINSTALLATION OF (2) EXISTING SATELLITE DISHES. CONTACT MIKE PAGE 791-1184 EXT. 263 BEFORE WORK IS STARTED.
3. REMOVE EXISTING ANTENNA MOUNTED ON ROOF.
4. REMOVE EXISTING CONTROL JOINT ON LOWER ROOF.
5. LEAVE EXISTING COLLECTOR HEAD AND DOWNSPOUTS FOR EXISTING SCUPPERS AS IS.
6. REMOVE EXISTING GAS LINE LOCATED ON EXISTING ROOF.
7. REMOVE EXISTING DRAIN LINE FOR EXISTING ROOF DRAINS ON LOWER ROOF. INSTALL NEW VERTICAL DRAIN LINE AT COLUMN FOR EACH EXISTING DRAIN.
8. COORDINATE WITH OTHERS FOR MECHANICAL WORK TO BE COMPLETED ON ROOF.
9. INSTALL (6) NEW ROOF DRAIN BOULDS WITH 4" OUTLET 3'-0" FROM EXISTING WALL IN FRONT OF EXISTING SCUPPERS. SEE DETAIL E/A5/01. INSTALL NEW ROOF DRAINS 2" BELOW FLOW LINE OF EXISTING SCUPPERS. CONNECT EACH DRAIN TO NEW DRAIN LINE PREVIOUSLY INSTALLED BELOW ROOF DECK.
10. INSTALL NEW 24 GA. METAL DRIP EDGE AND RAINGUTTER ALONG EDGE OF UPPER ROOF. SEE DETAIL M/B5/01 AND A4B/A5/01. RAINGUTTER OVER AREA OF MECHANICAL DUCT WORK ONLY.
11. REMOVE AND DISPOSE OF EXISTING MECHANICAL EQUIPMENT INDICATED ON ROOF PLAN. PATCH / REPAIR EXISTING DECK AS REQUIRED.
12. LIFT EXISTING UNIT TO REMAIN TO INSTALL NEW MECHANICAL CURB. UNIT IS TO BE TURNED SO DUCTS GO FROM UNIT DIRECTLY INTO WALL.
13. INSTALL NEW 3" POLYISOCYANURATE WITH 1/2" COVERBOARD OVER ENTIRE MAIN AND UPPER ROOFS. INSTALL 1/2" COVERBOARD ON LOWER ROOF ONLY.
14. INSTALL NEW ROOF MEMBRANE OVER ALL ROOF AREAS IN PROJECT. SEE MANUFACTURER FOR LATEST SPECIFICATIONS. CONTRACTOR TO INCLUDE 200 L.F. INSTALLED AS DIRECTED BY OWNER WALKWAY PAD APPROVED BY MANUFACTURER.
15. INSTALL CRICKET TO PRODUCE 1/4" SLOPE TO ROOF DRAINS. SIZE AND SLOPE OF CRICKET TO BE FIELD VERIFIED TO GIVE PROPER DRAINAGE. NO PONDING WATER ALLOWED.
16. REMOVE AND INSTALL NEW STANDING SEAM BRONZE PARAPET WALL CAP TO MATCH REST OF BUILDING. INSTALL WITH NEW TREATED WOOD NAILER. SEE DETAILS B, C4/H/A5/01.
17. REMOVE EXISTING AND INSTALL NEW 24 GA. METAL DRIP EDGE ALONG EDGE OF UPPER ROOF. SEE DETAILS J4/K/A5/01.
18. INSTALL ALL NEW ROOF FLASHINGS. SEE DETAILS A, D, F, G4/L/A5/01.
19. CAULK AND SEAL WATERTIGHT ALL ROOF PENETRATIONS.

LEGEND

- GAS LINE ON TOP OF ROOF
- ⊗ EXISTING ROOF DRAIN
- ⊕ NEW ROOF DRAIN TO BE ADDED
- SLOPE
- VENT
- ▨ MECHANICAL EQUIPMENT TO BE REMOVED
- EXISTING MECHANICAL UNITS
- ▤ NEW MECHANICAL UNITS
- ▧ ROOF HATCH
- ⊗ EXHAUST CURBS
- ≡ WALL MOUNT ANTENNA
- ≡ ROOF LADDER ACCESS
- EXISTING SATELLITE LOCATION



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OLD FRED MEYER BUILDING**

DFCM - STATE OF UTAH
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BRIGHAM CITY, UTAH

REVISIONS

REV.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

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CAD DWG. FILE: 250751.rvt

DRAWN BY: MS

BUILDING #:

PROPERTY NO:

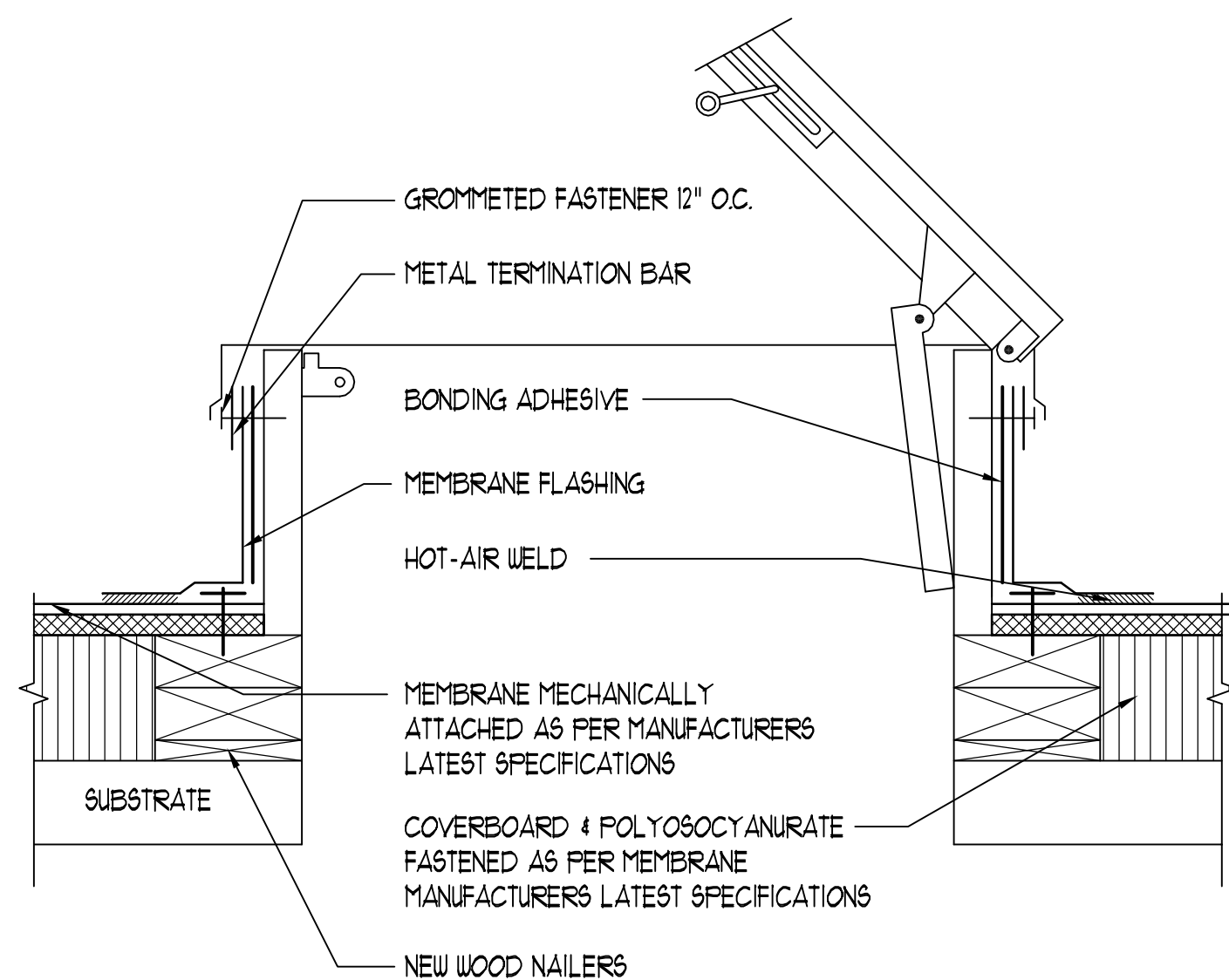
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DATE: NOV 2005

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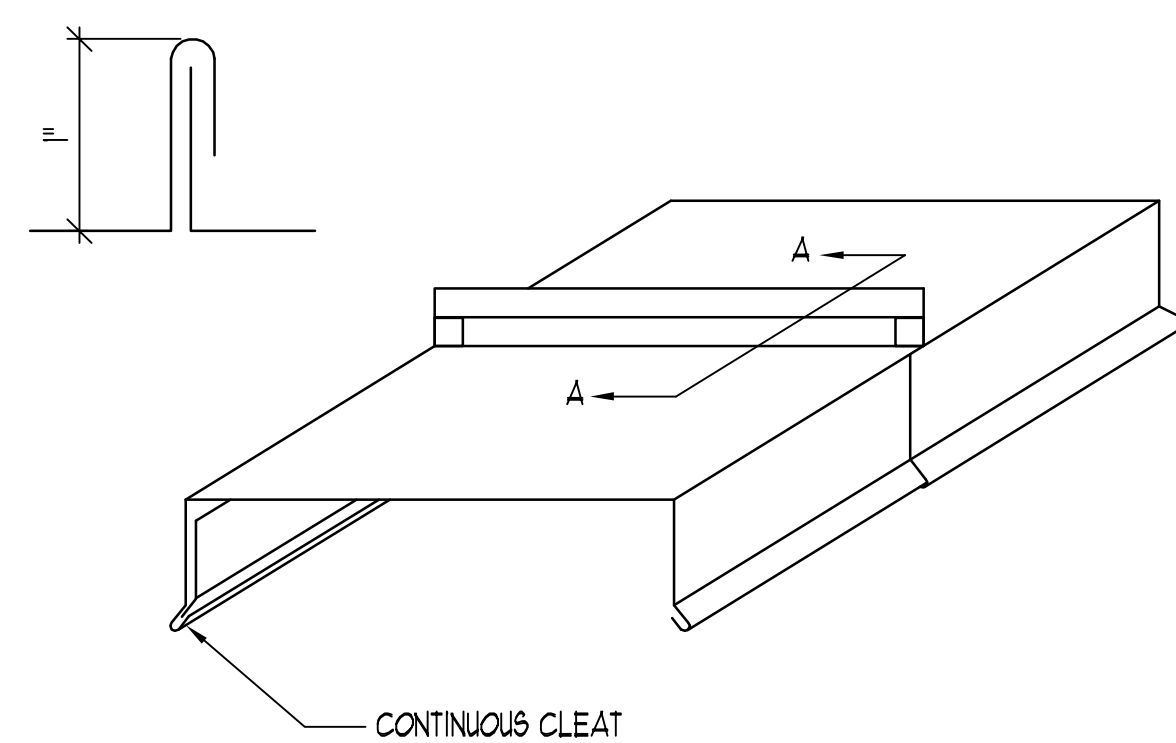
**ROOF
PLAN****A1.1**

SHEET: 1 OF 3

**ROOF ACCESS HATCH**

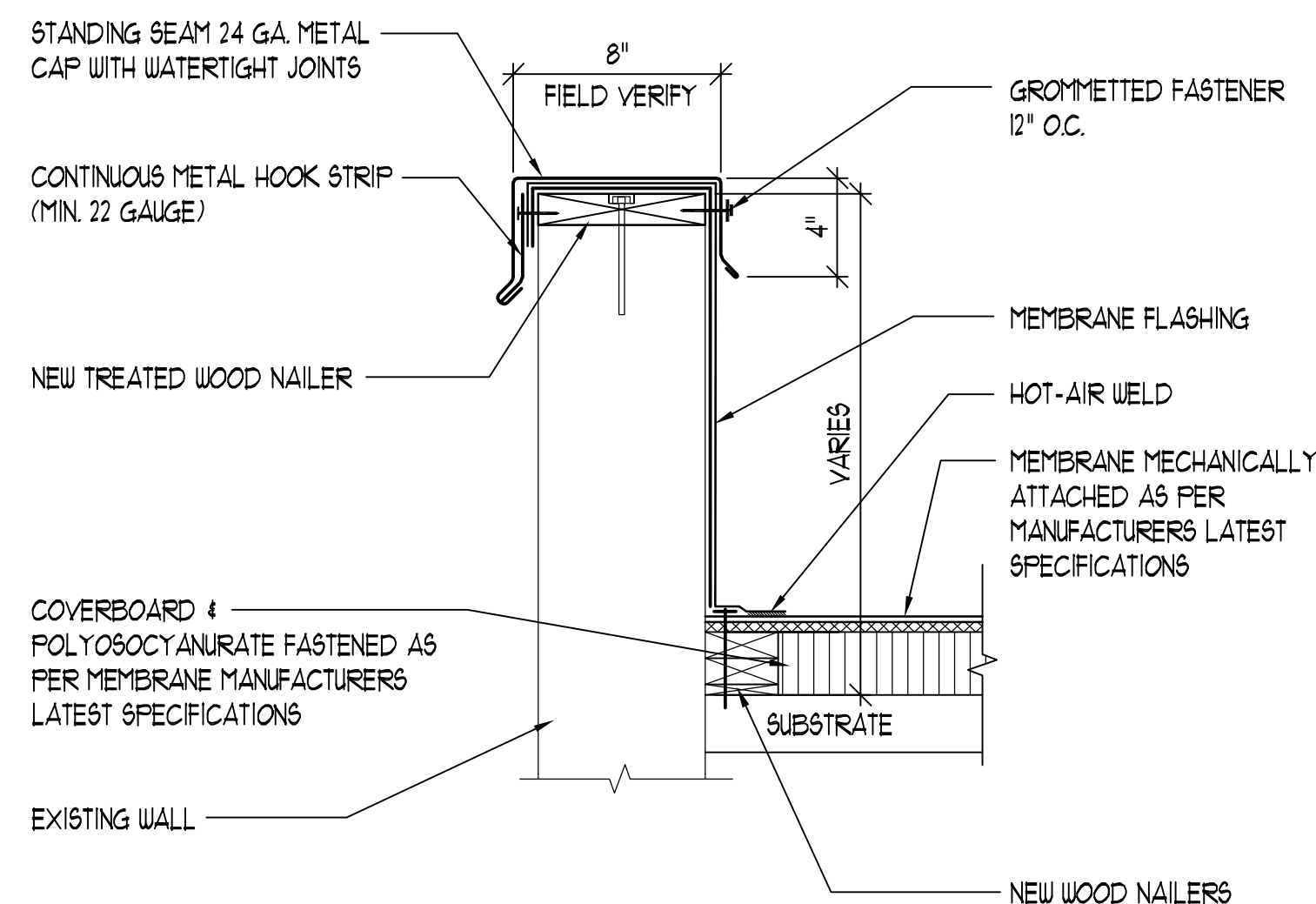
SCALE: 3" = 1'-0"

A

**SEAM DETAIL AT FLASHING**

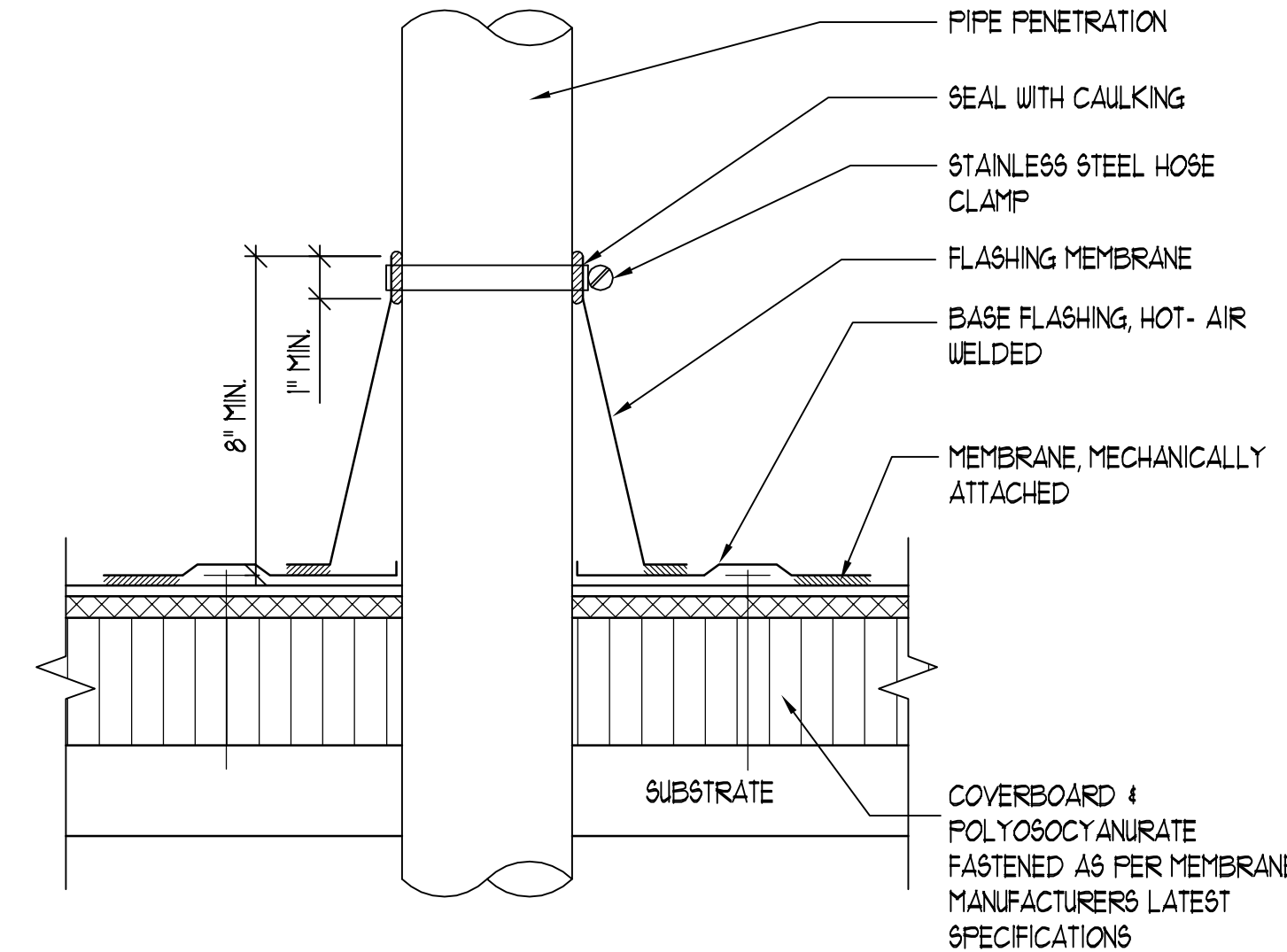
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B

**ROOF DETAIL - AT PARAPET** UPPER ROOF

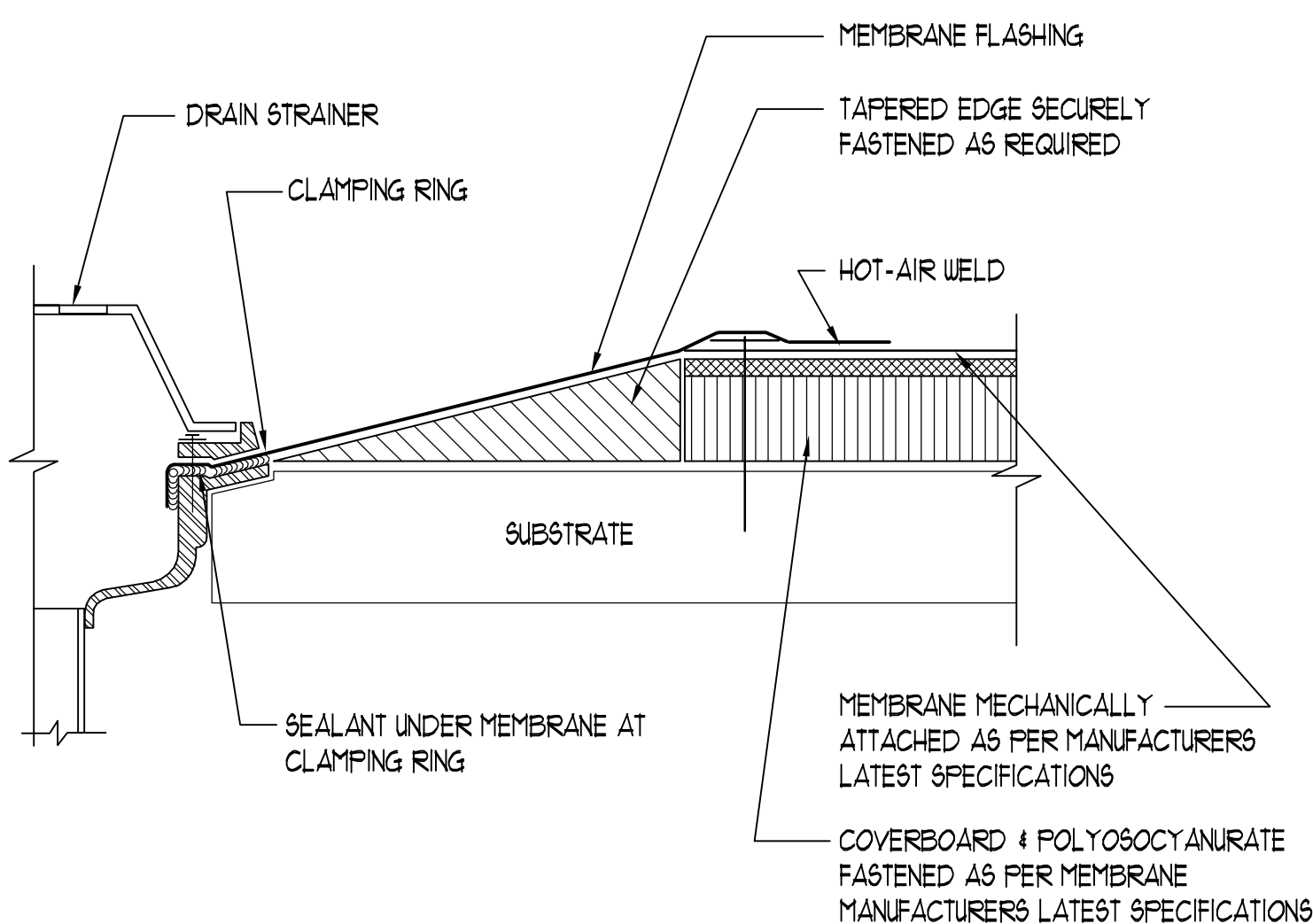
SCALE: 1 1/2" = 1'-0"

C

**PIPE FLASHING**

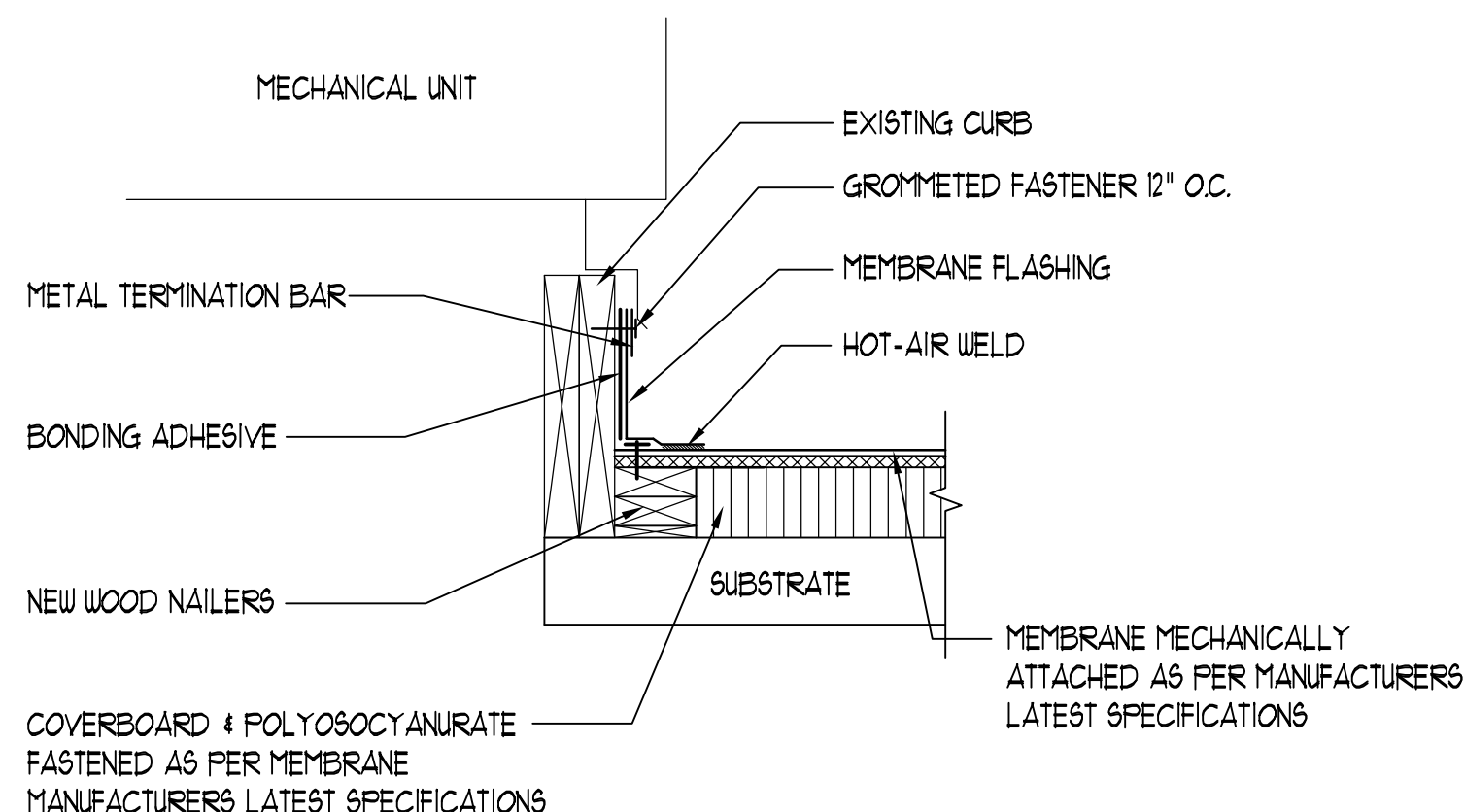
SCALE: 3" = 1'-0"

D

**CLAMPING RING DRAIN**

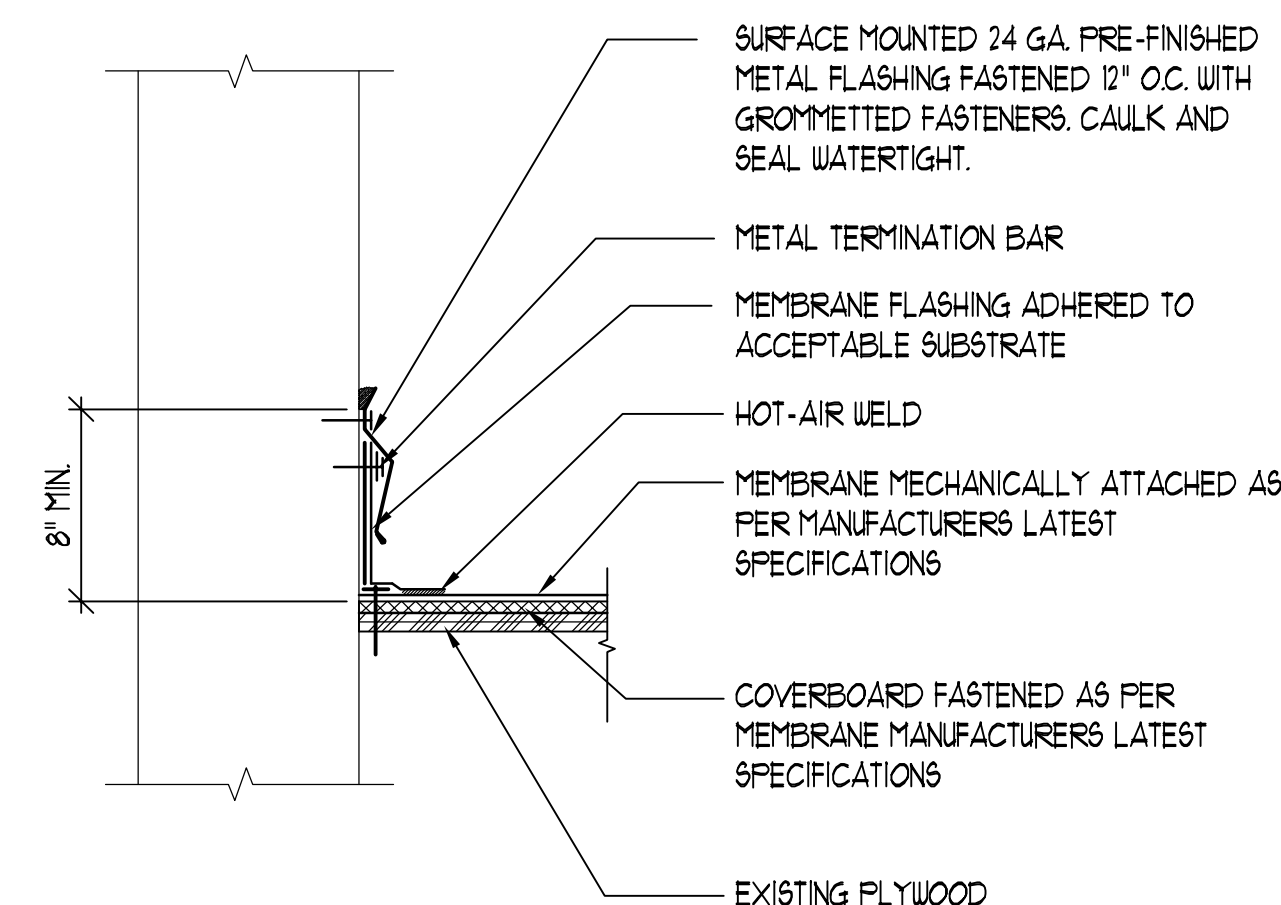
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E

**CURB DETAIL - AT MECH. UNIT**

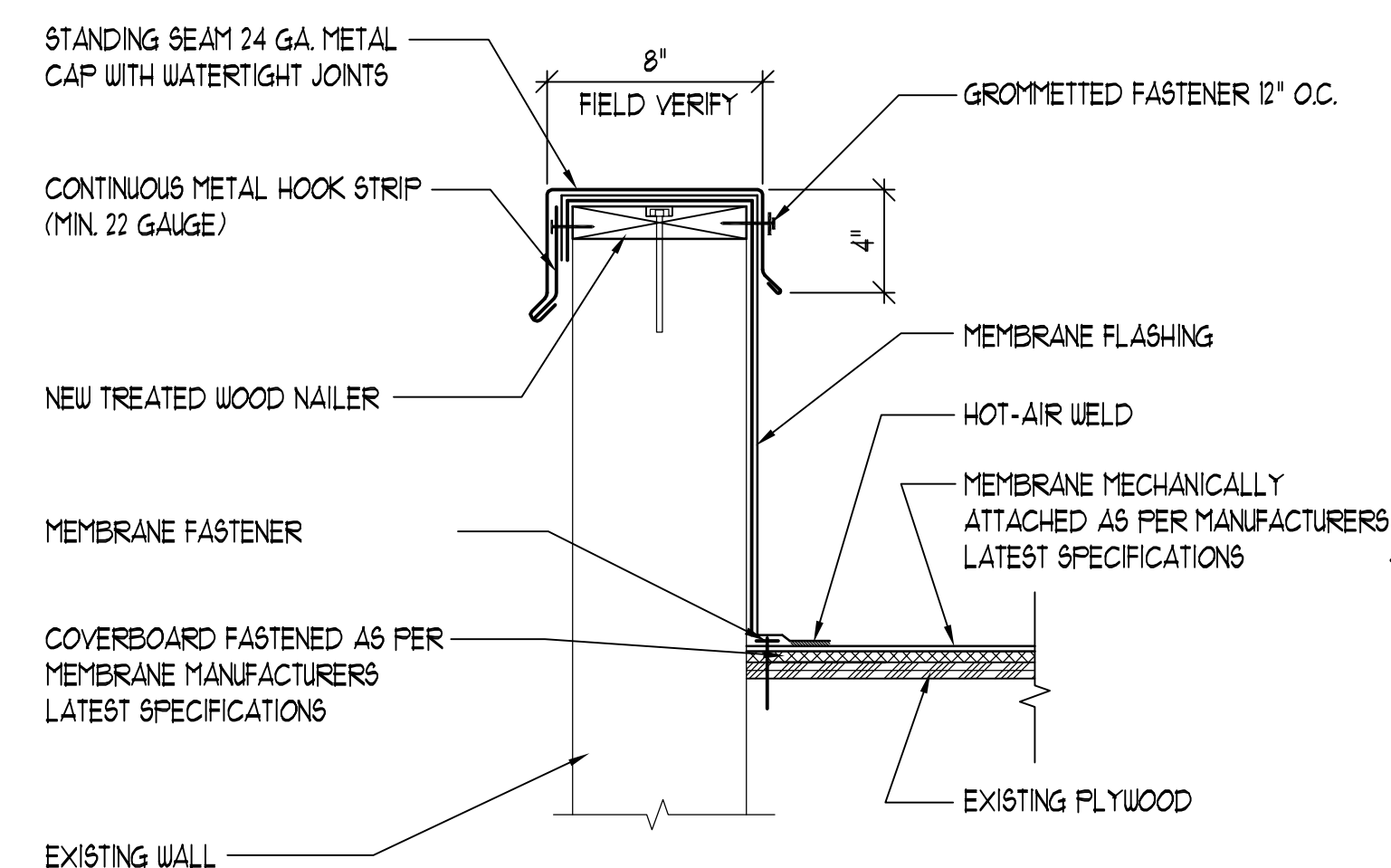
SCALE: 1 1/2" = 1'-0"

F

**WALL FLASHING**

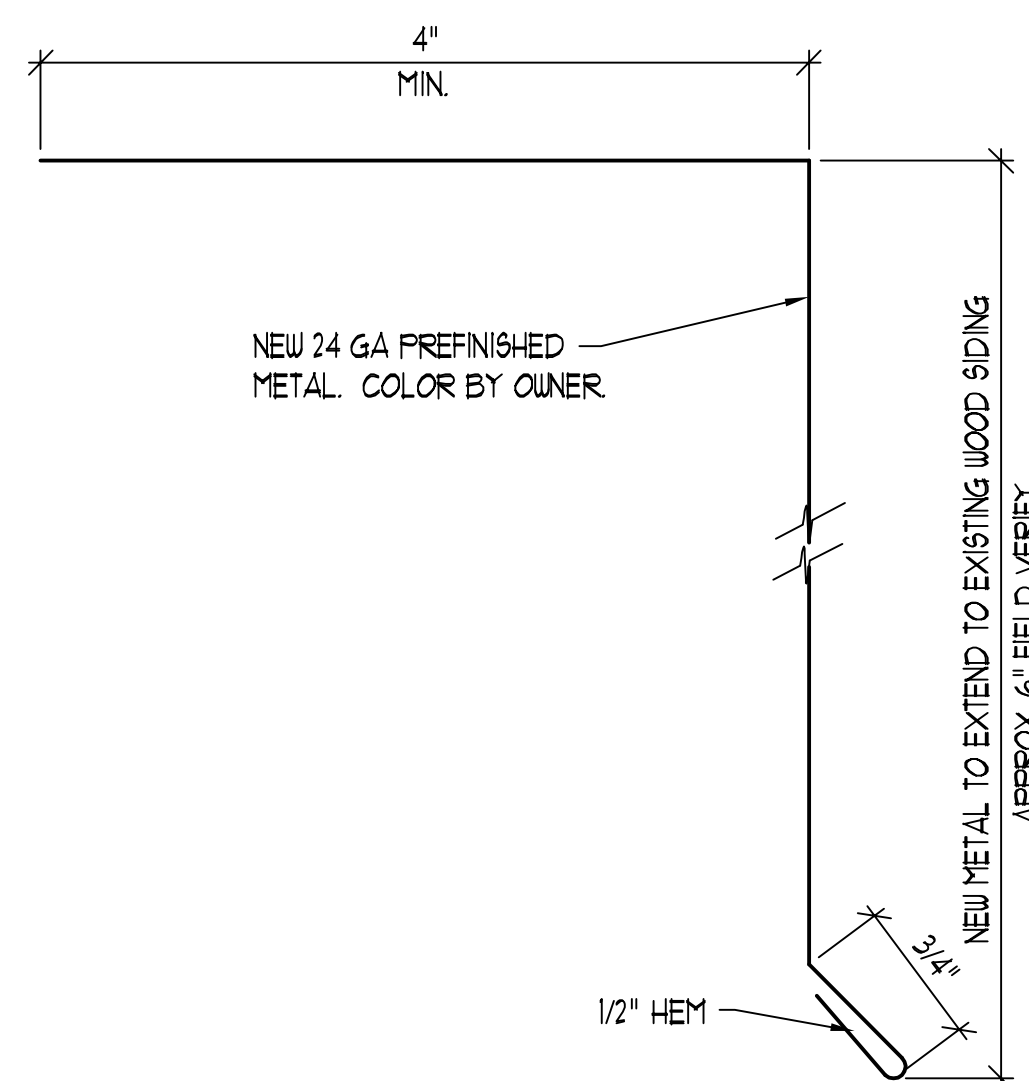
SCALE: 1 1/2" = 1'-0"

G

**ROOF DETAIL - AT PARAPET** LOWER ROOF

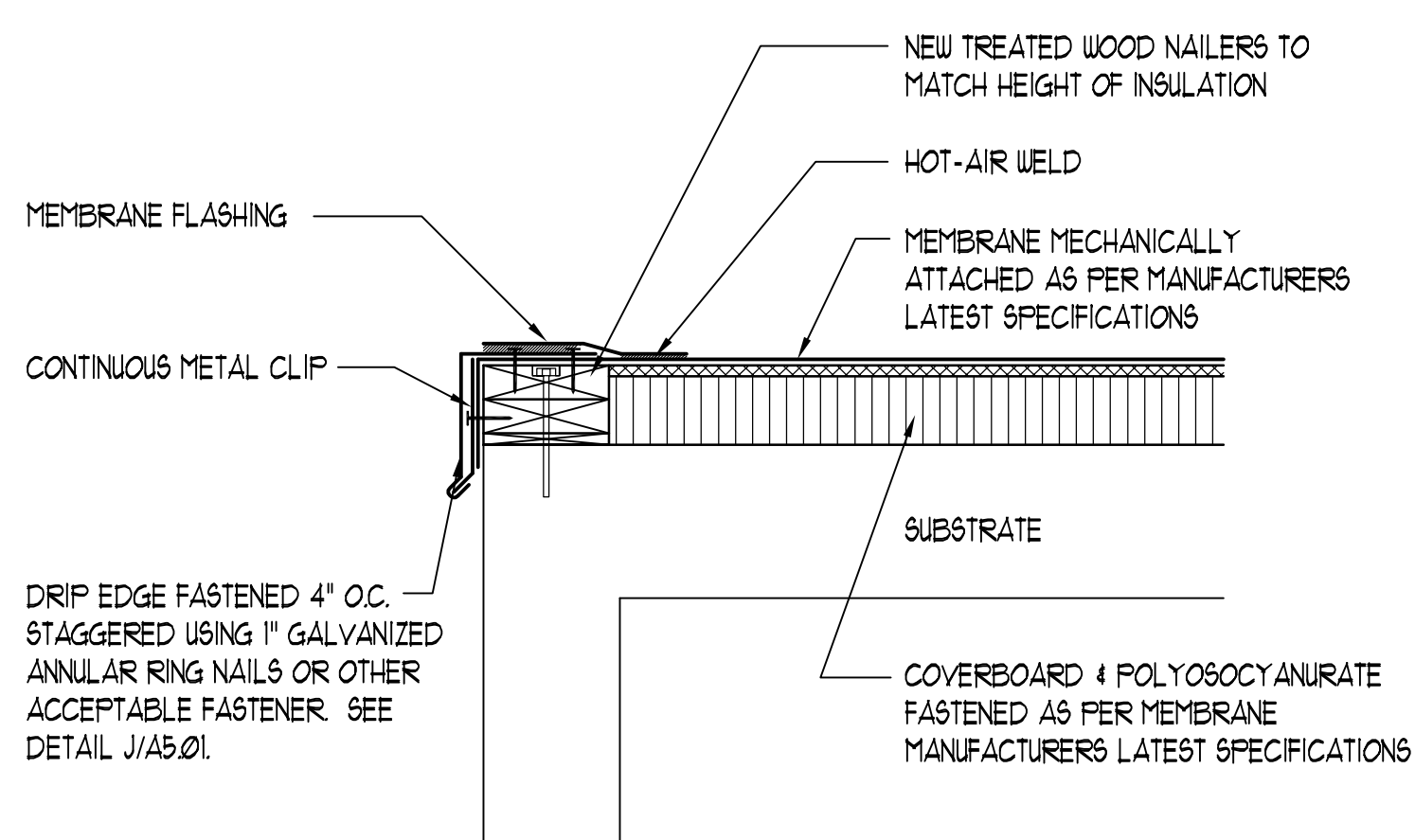
SCALE: 1 1/2" = 1'-0"

H

**STANDARD DRIP EDGE DETAIL**

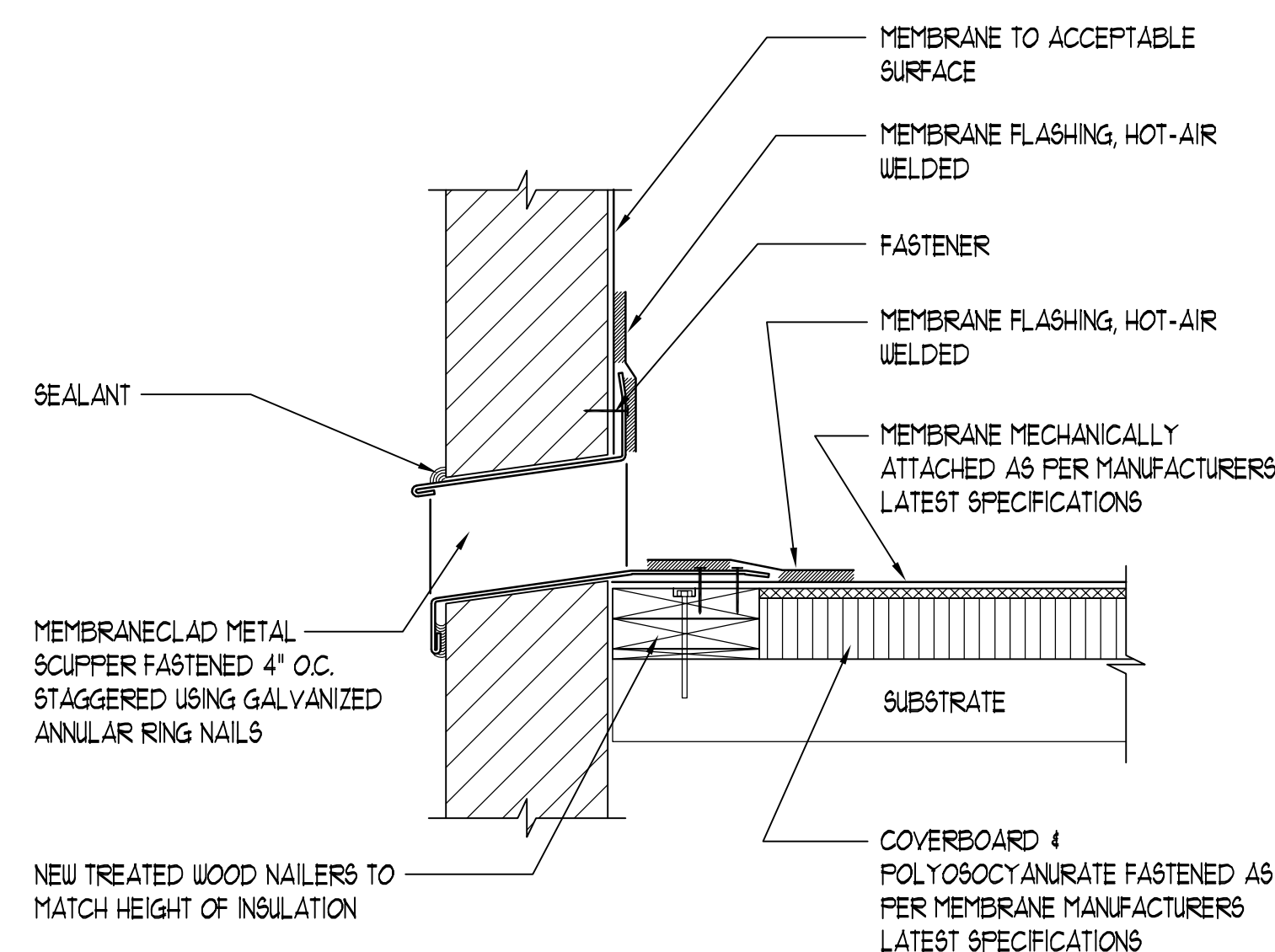
SCALE: FULL

J

**EDGE DETAIL**

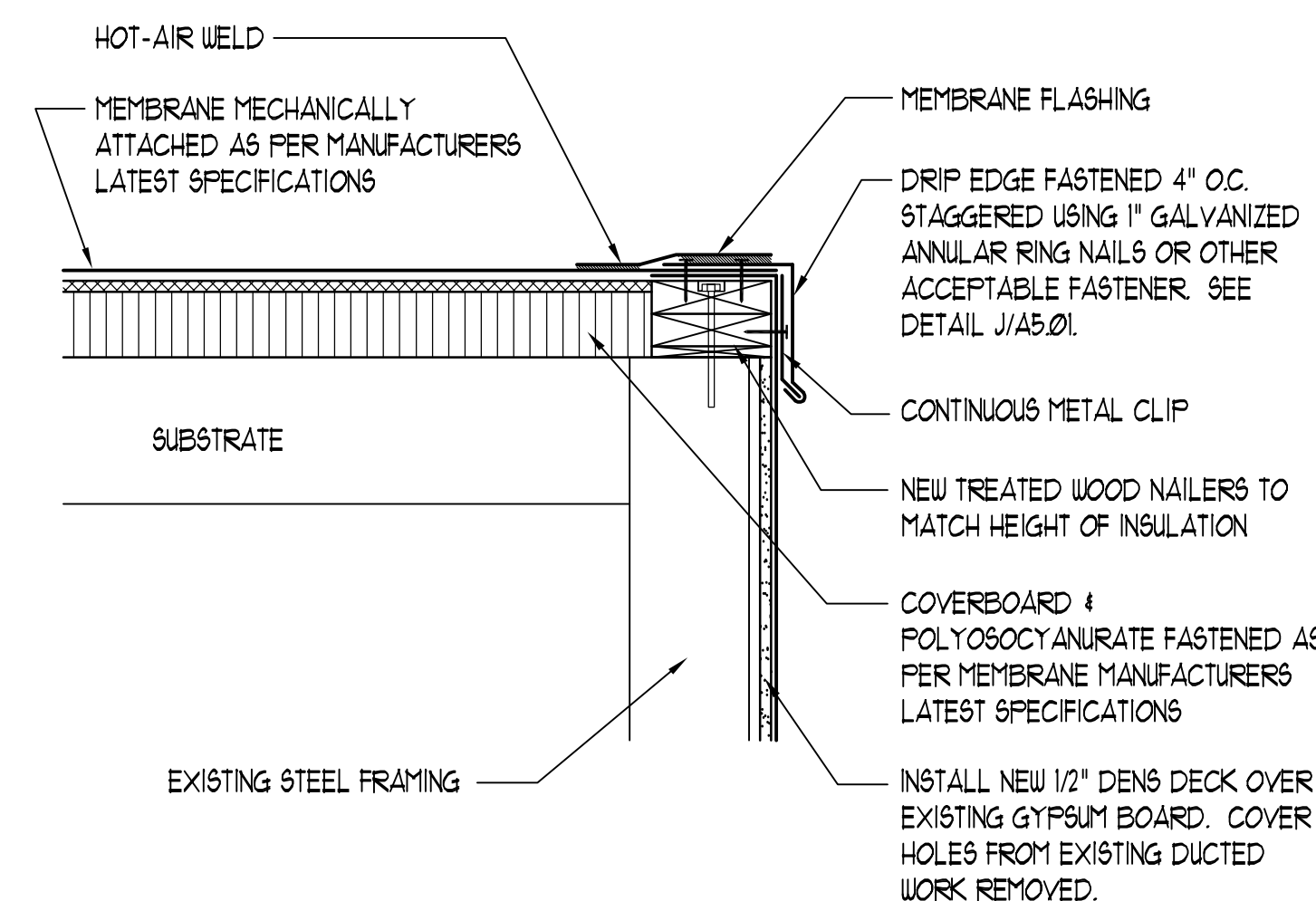
SCALE: 1 1/2" = 1'-0"

K

**THRU - WALL SCUPPER**

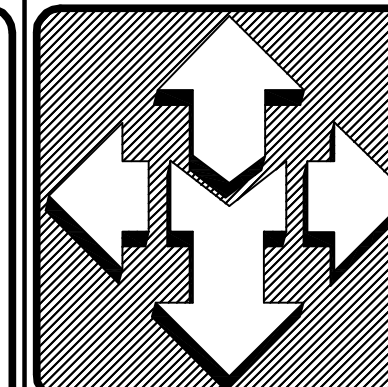
SCALE: 1 1/2" = 1'-0"

L

**EDGE DETAIL @ HIGH WALL**

SCALE: 1 1/2" = 1'-0"

M



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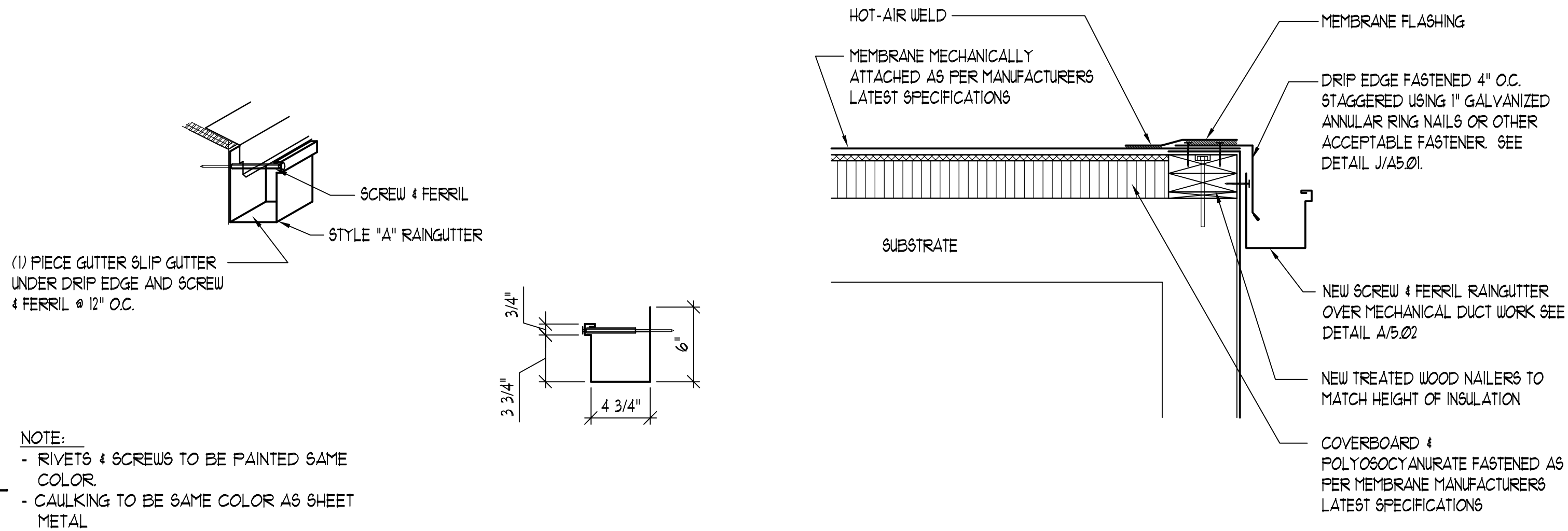
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DATE: NOV 2005

SHEET TITLE:

DETAIL**SHEET****A5.01**

SHEET: 2 OF 3



NOTE:

- RIVETS 4 SCREWS TO BE PAINTED SAME COLOR
- CAULKING TO BE SAME COLOR AS SHEET METAL

RAINGUTTER DETAIL

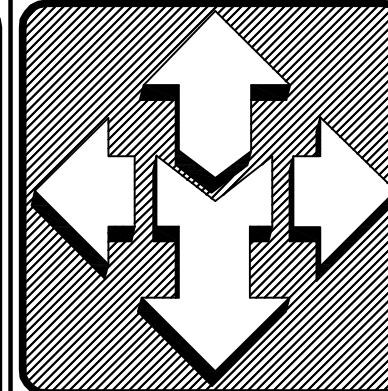
SCALE: 1 1/2" = 1'-0"

A

EDGE DETAIL @ HIGH WALL W/ GUTTER

SCALE: 1 1/2" = 1'-0"

B



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SHEET TITLE:
**DETAIL
SHEET**

A5.02
SHEET: 3 OF 3